ALLEN RESIDENCE
ADDITION/RENOV.
21 MARGARET CT.
FAIR LAWN, NJ 07410

GENERAL NOTES

SCOPE OF WORK:
RECONSTRUCT SECOND FLOOR TO EXPAND THREE BEDROOMS AND ADD A BATH.
REMODEL FIRST FLOOR TO REMOVE EXISTING BEDROOMS AND CREATE A LARGER KITCHEN AND LIVING AREA.

1. NO CHANGE TO USE GROUP.

2. ALL REFERENCES TO THE BUILDING CODE REFER TO THE NEW JERSEY EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, 2018. ALL ASPECTS OF THIS PROJECT MUST MEET THE IRC 2018 REQUIREMENTS.

3. ALL WORK IS TO COMPLY WITH ALL BUILDING CODES AND ZONING ORDINANCES ADOPTED BY THE BOROUGH OF FAIR LAWN, BERGEN COUNTY, NEW JERSEY, AND ALL STATE LABOR LAWS AND REGULATIONS.

4. THE GENERAL CONTRACTOR SHALL OBTAIN A WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. PERMIT SHALL BE PROPERLY DISPLAYED AT THE WORK SITE.

5. CONTRACTOR IS TO VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO STARTING WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS OR FIELD CONDITIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION AND CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

6. JOB SITE IS TO BE KEPT REASONABLY CLEAN AND KEPT FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND TRASH DURING THE ENTIRE CONSTRUCTION PERIOD. REMOVE CRATES, CARTONS AND OTHER FLAMMABLE WASTE MATERIALS OR TRASH FROM THE WORK AREAS AT THE END OF EACH WORKING DAY. PRIOR TO FINAL ACCEPTANCE OF WORK BY HOMEOWNER, THE ENTIRE WORK AREA AND AREAS AFFECTED BY WORK MUST BE CLEANED AND FREE FROM ANY TRASH, MATERIAL WASTE, EXCESS DUST OR MARKINGS ON FINISHED SURFACES. UNFINISHED SPACES SHALL BE LEFT FREE FROM TRASH, LOOSE PLASTER, MORTAR DRIPPINGS, EXTRANEOUS CONSTRUCTION MATERIALS, DIRT AND DUST.

7. THE GENERAL CONTRACTOR SHALL CO-ORDINATE AND SUPERVISE THE WORK OF ALL CONTRACTORS AND SUB-CONTRACTORS. S/HE SHALL BE RESPONSIBLE FOR GIVING ALL TRADES SUCH INFORMATION, PLANS OR DETAILS AS MAY BE REQUIRED FOR THE PROPER INSTALLATION AND COMPLETION OF THEIR WORK. ALL MATERIALS SHALL BE ORDERED SUFFICIENTLY AHEAD OF TIME SO THAT WORK CAN PROCEED ON SCHEDULE.

8. THE CONTRACTOR AND SUB-CONTRACTORS SHALLMAKE APPLICATION FOR, OBTAIN AND PAY FOR PERMITS UNDER THEIR RESPECTIVE DIVISIONS OF WORK. THE GENERAL CONTRACTOR SHALL OBTAIN A CERTIFICATE OF OCCUPANCY.

9. TEMPORARY LIGHTING, WARNING SIGNS, LEGAL AND NECESSARY GUARD RAILS AND BARRIERS SHALL BE PROVIDED AND ERECTED BY THE CONTRACTOR DURING THE PROGRESS OF WORK.

10. ALL WORK IS TO BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER, SET STRAIGHT AND PLUMB IN ACCORDANCE WITH BEST TRADE PRACTICES.

11. ALL MATERIALS USED TO BE OF FIRST QUALITY FREE FROM DEFECTS.

12. CONTRACTOR REQUIRED TO PROVIDE HOMEOWNER WITH PROOF OF INSURANCE.

13. PRIOR TO THE COMPLETION OF THE WORK, THE G.C. SHALL FURNISH THE HOMEOWNER WITH A COMPLETE SET OF MANUFACTURERS' CATALOGS, OPERATING INSTRUCTIONS AND SIMILAR DATA AND ALL GUARANTEES FOR ALL EQUIPMENT AND OPERABLE DEVICES FURNISHED OR INSTALLED BY THE G.C. IN THIS CONSTRUCTION, AND SHALL ORIENT AND INSTRUCT THE HOMEOWNER IN THE OPERATION OF ALL SUCH EQUIPMENT.

14. THE PROJECT HAS BEEN DESIGNED AND DETAILED FOR THE SPECIFIC MATERIALS AND EQUIPMENT SPECIFIED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT. IF THE SPECIFIED MATERIAL IS NOT AVAILABLE, THE CONTRACTOR SHALL PROPOSE AN ALTERNATE MATERIAL, AND PROVIDE DRAWINGS, SAMPLES, SPECIFICATIONS, MANUF. LITERATURE, PERFORMANCE DATA, ETC. IN ORDER THAT THE ARCHTIECT CAN EVALUATE THE PROPOSED SUBSTITUTION. IF THE SUBSTITUTION AFFECTS A CORRELATED FUNCTION, ADJACENT CONSTRUCTION OR THE WORK OF ANY OTHER CONTRACTOR OR TRADE, THE NECESSARY CHANGES AND MODIFICATIONS TO THE AFFECTED WORK SHALL BE ACCOMPLISHED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL EXPENSE TO HOMEOWNER.

15. ALL THE ARCHITECT'S DRAWINGS AND CONSTRUCTION NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL; ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DRAWINGS, UNLESS OTHERWISE SPECIFIED. IF ANY DISCREPANCIES OCCUR IN THESE DRAWINGS, THE HIGHER QUALITY PRODUCT OR PROCEDURE SHALL SUPERCEDE. FULL SIZE OR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN SMALL SCALE DRAWINGS THAT THEY ARE INTENDED TO AMPLIFY.

16. THE CONTRACTOR SHALL SUBMIT ALL FABRICATION, SHOP DRAWINGS, SAMPLES, AND FIXTURE CUTS OR THE ARCHITECT'S REVIEW AS REQUIRED AND/OR INDICATED ON DRAWINGS. THE ARCHITECT'S REVIEW SHALL NOT BE CONSTRUED AS AN INDICATION THAT SUBMITTAL IS CORRECT OR SUITABLE NOR THAT WORK REPRESENTED BY SUBMITTAL COMPLIES WITH THE DRAWINGS, EXCEPT AS TO MATTERS OF FINISH, COLOR OR OTHER AESTHETIC MATTERS. ACTION NOTED ABOVE DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY TO COORDINATE ALL TRADES AND TO CHECK QUANTITIES AND DIMENSIONS AGAINST CONDITIONS IN THE FIELD. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL ERRORS ON THEIR DRAWINGS.

17. THE CONTRACTOR SHALL GUARANTEE THE WORK AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF COMPLETED WORK BY HOMEOWNER; AND S/HE SHALL, AT HIS/HER OWN EXPENSE AND WITHOUT COST TO THE HOMEOWNER, CORRECT ANY DEFECTS WHICH MAY DEVELOP DURING SUCH ONE YEAR PERIOD AND CORRECT ANY DAMAGE TO OTHER WORK CAUSED BY SUCH DEFECTS OR REPAIRING OF SAME.

18. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL COMPLY WITH APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REQUIREMENTS.

SUSTAINABILITY NOTES

1. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL DO THEIR UTMOST TO MINIMIZE INTERIOR POLLUTANTS, SUPPORT THE CONSERVATION OF NATURAL RESOURCES, AND USE RECYCLED MATERIALS IN ORDER TO BENEFIT THE NATURAL ENVIRONMENT, ECONOMY AND PRODUCTIVITY AND HEALTH OF THE OCCUPANTS.

2. ALL WOOD PRODUCTS ARE PREFERRED TO BE FSC (FOREST STEWARDSHIP COUNCIL) CERTIFIED.

3. ALL MATERIALS INCLUDING BUT NOT LIMITED TO PAINT, TILE ASSEMBLIES, GYPSUM WALL BOARD ASSEMBLIES, INSULATION, PLYWOOD, MUST BE LOW/NO VOC, AND PREFERRABLY GREEN GUARD CERTIFIED AND FORMALDEHYDE FREE.

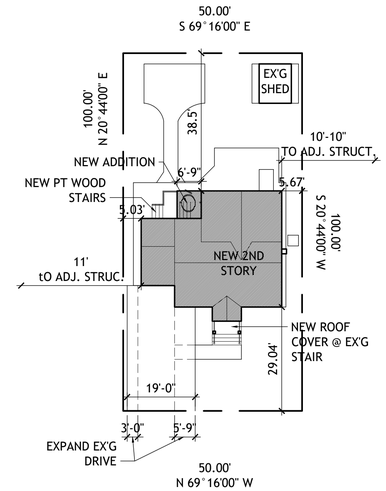
4. ALL MATERIALS MUST STRIVE TO MAXIMIZE RECYCLED CONTENT.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
ALT.	ALTERNATIVE
ARCH.	ARCHITECT
@	AT
&	AND
B.O.	BY OTHER/OWNER
CAB.	CABINET
CANT.	CANTILEVER
CL	CENTER LINE, OR CLOSET
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
D	DRYER
DW	DISHWASHER
DWG.	DRAWING
ELEV.	ELEVATION
EQUIP.	EQUIPMENT
EX'G.	EXISTING
EXIST.	EXISTING
ENG.	ENGINEER
FL.	FLOOR
FT.	FEET
G.C.	GENERAL CONTRACTOR
GYP. BD.	GYPSUM WALL BOARD
HVAC	HEATING VENTING AIR CONDITIONING
KIT.	KITCHEN
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
M.O.	MASONRY OPENING
N.I.C.	NOT IN CONTRACT
#	NUMBER
O.C.	ON CENTER
PLYWD.	PLYWOOD
PTD.	PAINTED
REF.	REFRIGERATOR
REQ'D.	REQUIRED
SPECS.	SPECIFICATIONS
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VIF.	VERIFY IN FIELD
W	WASHER
WD.	WOOD

ARCHITECTURAL SYMBOLS

1	REVISION
101	DWG. # OF SECTION/ELEV./DETAIL SHEET NUMBER
℄	CENTER LINE
	HIDDEN LINE BELOW, OR LINE ABOVE
	ELEMENT TO BE DISMANTLED
1	WALL TYPE
	EXISTING WALL
	NEW WALL
001	DOOR NUMBER
A	WINDOW TYPE
	SPOT ELEVATION
	INDICATES EXTENT OF FRAMING INDICATES DIRECTION OF FRAMING



MARGARET COURT

1 SITE PLAN
SCALE = 1"=20'-0"

ZONING ANALYSIS

LOT: 8
BLOCK: 1304
ZONE: R-1-2
USE GROUP: R5
CONSTRUCTION TYPE: VB
EX'G FOOTPRINT: 1122 SF
AREA OF NEW CONSTRUCTION: 1090 SF
VOLUME OF NEW CONSTRUCTION: 13726.5 CF

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	7.500 SF	5000 SF *	NC
MIN. LOT WIDTH	75'	50' *	NC
MIN. LOT DEPTH	100'	100'	NC
BUILDING COVERAGE	25%	1223, 24.5% *	1275, 25.5% **
IMPERVIOUS COVERAGE	35%	2570, 51.4% *	2756.5, 55.13% **
MAX. BLDG. HGT.	30', 2 1/2 ST.	23.7'	NC
MIN. FRONT YARD	30'	29.04'	NC
MIN. SIDE YARD	10'	5.03' *	NC
	10'	5.67' *	NC
MIN. REAR YARD	20'	38.5'	NC
FLOOR AREA RATIO	.4	1688, 34%	2092, 41.8% **

PARTIAL DEMOLITION CALCULATIONS:
ALL EX'G 1ST FLOOR WALLS ARE TO REMAIN IN PLACE. ONLY BRICK VENEER TO BE REMOVED.

* = EXISTING NON-COMPLIANCE
NC = NO CHANGE

SITE PLAN TAKEN FROM SURVEY PERFORMED BY KENNETH JOB, DATED 5-22-08.

DRAWING INDEX

T-1	TITLE SHEET
D-1	DEMOLITION PLANS
A-1	BASEMENT PLAN
A-2	ELEVATIONS
A-3	SECTION & NOTES
A-4	FINISH NOTES, SCHEDULES, DOOR & WINDOW TYPES

REVISIONS

DATE	REASON
11-4-22	ZONING REVIEW

DATE	REASON

ISSUED SETS

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21 MARGARET CT.
FAIR LAWN, NJ 07410

DRAWING TITLE:
TITLE SHEET

DATE: 11-4-22
PROJECT #: 2204
DRAWN BY: LMC
DRAWING #: T-1

ALLEN RESIDENCE
ADDITION/RENOV.
21 MARGARET CT.
FAIR LAWN, NJ 07410

DEMOLITION NOTES

1. OPERATIONAL/SAFETY LIMITATIONS: DO NOT CUT AND PATCH OPERATING ELEMENTS AND SAFETY COMPONENTS IN A MANNER THAT WOULD REDUCE THEIR CAPACITY TO PERFORM AS INTENDED, OR WOULD INCREASE MAINTENANCE OR DECREASE OPERATIONAL LIFE OR SAFETY.

2. BEFORE CUTTING, EXAMINE SURFACES TO BE CUT AND PATCHED AND CONDITIONS UNDER WHICH CUTTING AND PATCHING IS TO BE PERFORMED. TAKE CORRECTIVE ACTION BEFORE PROCEEDING, IF UNSAFE OR UNSATISFACTORY CONDITIONS ARE ENCOUNTERED.

3. PROVIDE TEMPORARY SUPPORT FOR WORK TO BE CUT.

4. PROTECT EXISTING CONSTRUCTION DURING CUTTING AND PATCHING TO PREVENT DAMAGE. PROVIDE PROTECTION FROM ADVERSE WEATHER CONDITIONS FOR PORTIONS THAT MIGHT BE EXPOSED DURING CUTTING AND PATCHING OPERATIONS.

5. AVOID INTERFERENCE WITH USE OF ADJOINING AREAS OR INTERRUPTION OF FREE PASSAGE TO ADJOINING AREAS.

6. PROVIDE PROTECTION FROM DIRT, DUST AND DEBRIS TO REMAINDER OF HOME WHERE WORK IS NOT TAKING PLACE.

7. TAKE ALL PRECAUTIONS TO AVOID CUTTING EXISTING PIPE, CONDUIT OR DUCTWORK SERVING THE BUILDING, BUT SCHEDULED TO BE REMOVED OR RELOCATED, UNTIL PROVISIONS HAVE BEEN MADE TO BYPASS THEM.

8. LOCATE, IDENTIFY, STUB OFF AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN.

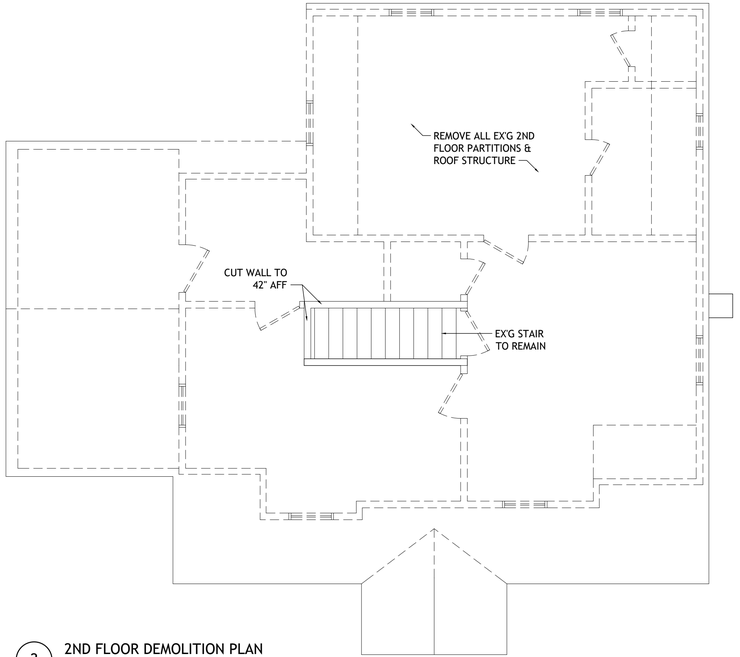
9. CUT EXISTING CONSTRUCTION USING METHODS LEAST LIKELY TO DAMAGE ELEMENTS TO BE RETAINED OR ADJOINING CONSTRUCTION.

10. CONDITION OF STRUCTURES: OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DISMANTLED. CONDITIONS EXISTING AT TIME OF COMMENCEMENT OF CONTRACT WILL BE MAINTAINED BY OWNER INSOFAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN STRUCTURE MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE
OPERATIONS PRIOR TO START OF SELECTIVE DISMANTLING WORK.

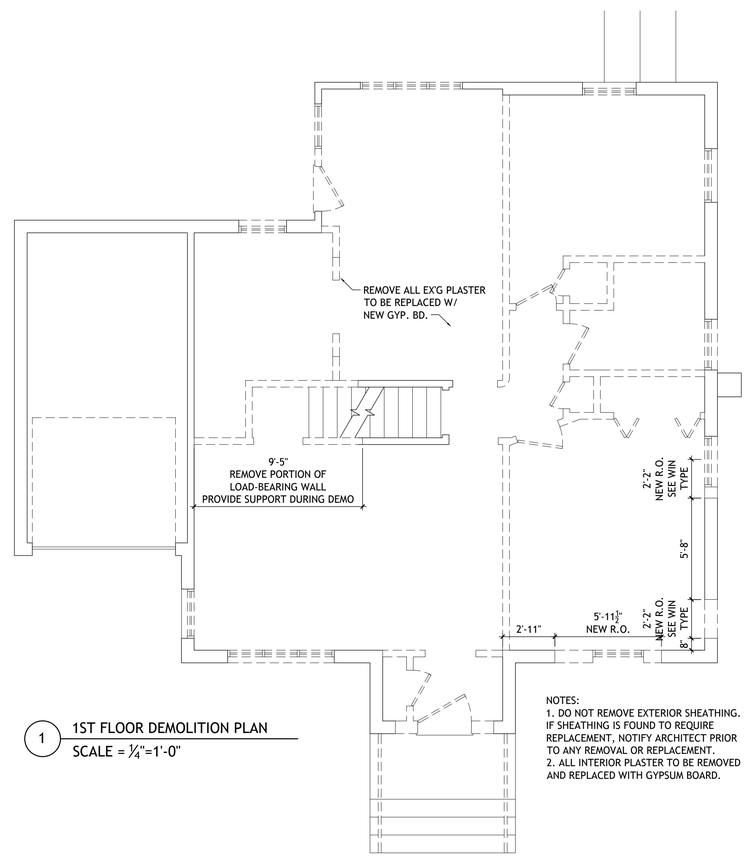
11. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.

12. DISMANTLE CONCRETE AND MASONRY IN SMALL SECTIONS. CUT CONRETE AND MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN USING HAND TOOLS; DO NOT USE POWER MASONARY OR POWER DRIVEN IMPACT TOOLS EXCEPT WITH APPROVAL AND AUTHORIZATION FROM THE OWNER.

13. IF UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF CONFLICT. SUBMIT REPORT TO ARCHITECT IN WRITTEN, ACCURATE DETAIL. PENDING RECEIPT OF DIRECTIVE FROM ARCHITECT, REARRANGE SELECTIVE DISMANTLING SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT DELAY.



2 2ND FLOOR DEMOLITION PLAN
SCALE = ¼"=1'-0"



1 1ST FLOOR DEMOLITION PLAN
SCALE = ¼"=1'-0"

NOTES:
1. DO NOT REMOVE EXTERIOR SHEATHING. IF SHEATHING IS FOUND TO REQUIRE REPLACEMENT, NOTIFY ARCHITECT PRIOR TO ANY REMOVAL OR REPLACEMENT.
2. ALL INTERIOR PLASTER TO BE REMOVED AND REPLACED WITH GYPSUM BOARD.

REVISIONS

DATE	REASON
11-4-22	ZONING REVIEW

DATE	REASON
ISSUED SETS	

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21 MARGARET CT.
FAIR LAWN, NJ 07410

DRAWING TITLE:
DEMOLITION PLANS

DATE: 11-4-22
PROJECT #: 2204
DRAWN BY: LMC
DRAWING #: D-1

ALLEN RESIDENCE
ADDITION/RENOV.
21 MARGARET CT.
FAIR LAWN, NJ 07410

INSULATION NOTES

1. UNFINISHED ATTIC:
CERTAINTEED FIBERGLASS BATT INSULATION OR EQUAL, AS APPROVED BY ARCHITECT.

MINIMUM R38 REQUIRED.

INSULATION TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

ATTIC ACCESS PANELS MUST MEET THE SAME INSULATION REQUIREMENTS.

INSULATION BAFFLES TO BE INSTALLED AT ALL EAVE LOCATIONS.

2. EXTERIOR WALLS:
CERTAINTEED FIBERGLASS BATT INSULATION OR EQUAL, AS APPROVED BY ARCHITECT.

MINIMUM R20 REQUIRED.

INSULATION TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

3. FLOOR OVER UNCONDITIONED CRAWL SPACE:
CERTAINTEED FIBERGLASS BATT INSULATION WITH STANDARD KRAFT FACING, OR EQUAL AS APPROVED BY ARCHITECT.

MINIMUM R30 REQUIRED.

INSULATION TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. KRAFT PAPER TO FACE FLOOR ABOVE.

4. FOOTING INSULATION:
TYPE II EXPANDED POLYSTYRENE SHALL BE CALCULATED AT 3.2R PER INCH FOR VERTICAL INSULATION AND 2.6R PER INCH FOR HORIZONTAL INSULATION.

TYPE IX EXPANDED POLYSTYRENE SHALL BE CALCULATED AT 3.4R PER INCH FOR VERTICAL INSULATION AND 2.8R PER INCH FOR HORIZONTAL INSULATION.

TYPES IV, V, VI, VII, AND X EXTRUDED POLYSTYRENE SHALL BE CALCULATED AT 4.5R PER INCH FOR VERTICAL INSULATION AND 4.0R PER INCH FOR HORIZONTAL INSULATION.

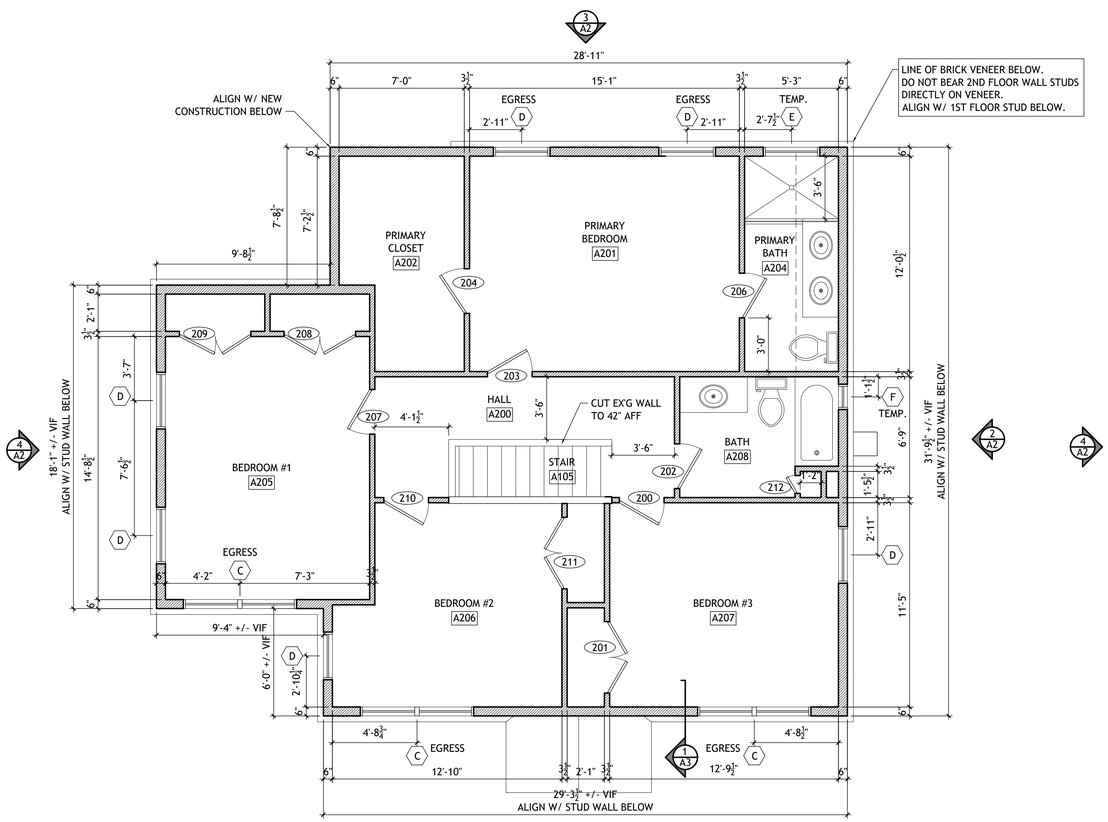
KITCHEN NOTES:

CONTRACTOR TO PROVIDE ALLOWANCE FOR KITCHEN BUDGET BASED ON THE LAYOUT IN THE FLOOR PLAN AND THE ADDITIONAL SPECIFICATIONS BELOW:

CABINETS ARE TO BE SOLID WOOD CONSTRUCTION.
WALL CABINETS WILL HAVE UPPER CABINETS ABOVE.
ISLAND WILL HAVE STORAGE BELOW.
COUNTERTOPS ARE TO BE GRANITE, OR OTHER COMPARABLE SOLID SURFACE MATERIAL.
ALL NEW STAINLESS STEEL APPLIANCES INCLUDING (1) REFRIGERATOR, (1) GAS RANGE WITH HOOD ABOVE- VENT TO OUTSIDE, (1) DISHWASHER, (1) SINK, (1) MICROWAVE DRAWER.

OVERHEAD KITCHEN EXHAUST SYSTEMS CAPABLE OF VENTING 400CFM OR MORE SHALL PROVIDE MAKEUP AIR PER 2015 IRC M1503.4.

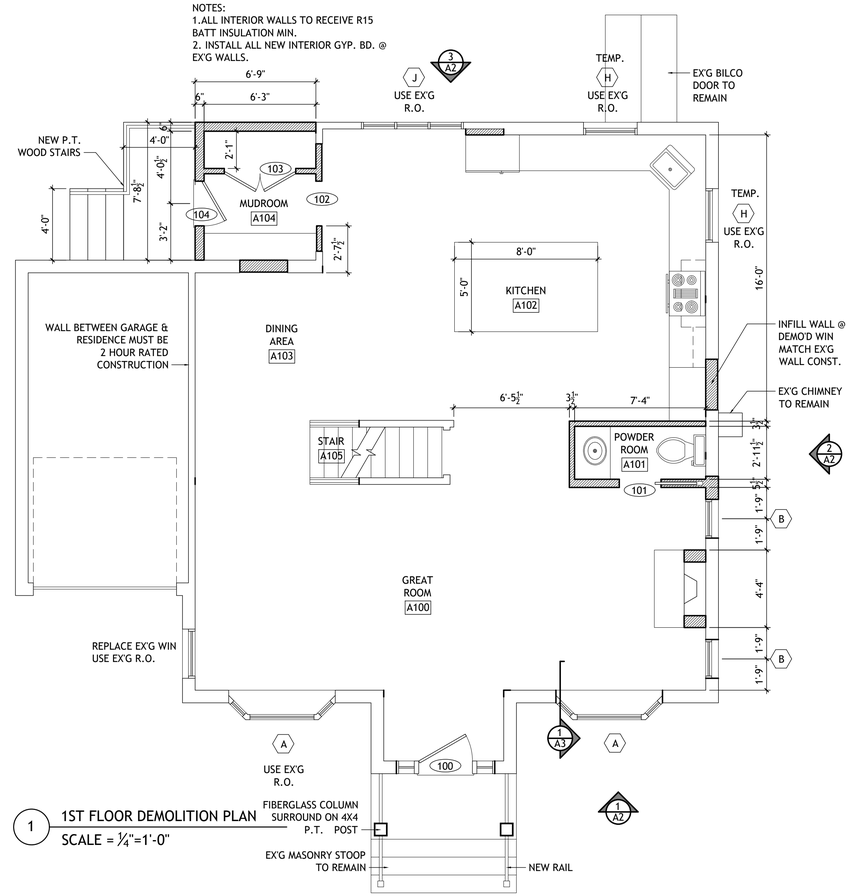
WALL BETWEEN GARAGE AND HOUSE MUST BE 1 HR FIRE RATED
SEE TABLE 721.1 IN THE IBC FOR RATED WALL TYPES.



2 2ND FLOOR DEMOLITION PLAN
SCALE = ¼"=1'-0"

NOTES:
1.ALL INTERIOR WALLS TO RECEIVE R15

NOTES:
1.ALL INTERIOR WALLS TO RECEIVE R15 BATT INSULATION MIN.
2. INSTALL ALL NEW INTERIOR GYP. BD. @ EX'G WALLS.



1 1ST FLOOR DEMOLITION PLAN
SCALE = ¼"=1'-0"

REVISIONS	
DATE	REASON
11-4-22	ZONING REVIEW

DATE	REASON
ISSUED SETS	

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21 MARGARET CT.
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DRAWING TITLE:
FLOOR PLANS

DATE:	11-4-22
PROJECT #:	2204
DRAWN BY:	LMC
DRAWING #:	A-1
	3 OF 6

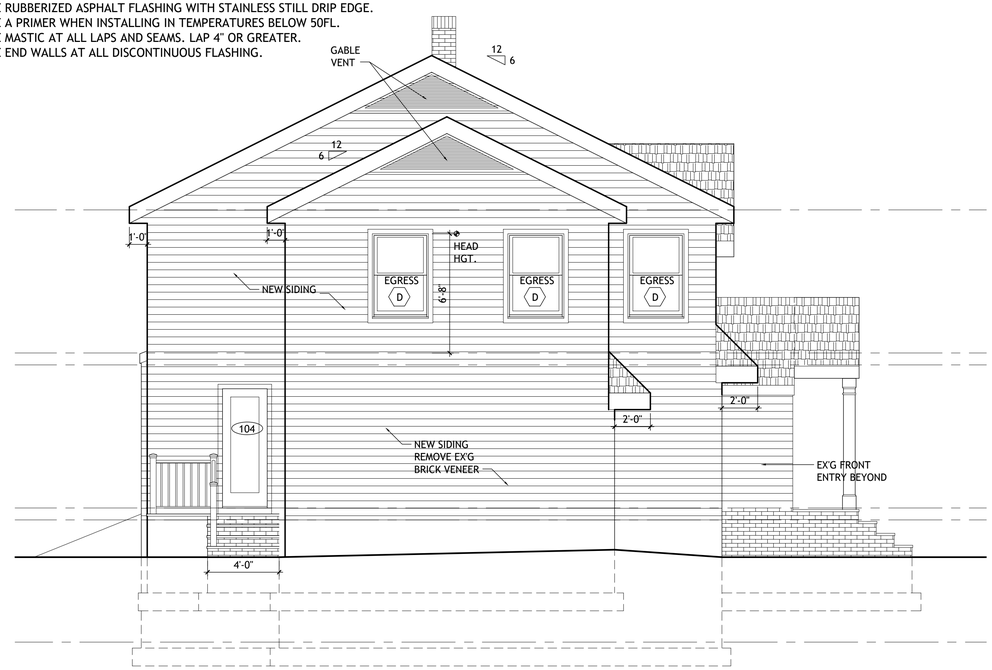
FLASHING NOTES:

USE RUBBERIZED ASPHALT FLASHING WITH STAINLESS STILL DRIP EDGE.
USE A PRIMER WHEN INSTALLING IN TEMPERATURES BELOW 50FL.
USE MASTIC AT ALL LAPS AND SEAMS. LAP 4" OR GREATER.
USE END WALLS AT ALL DISCONTINUOUS FLASHING.

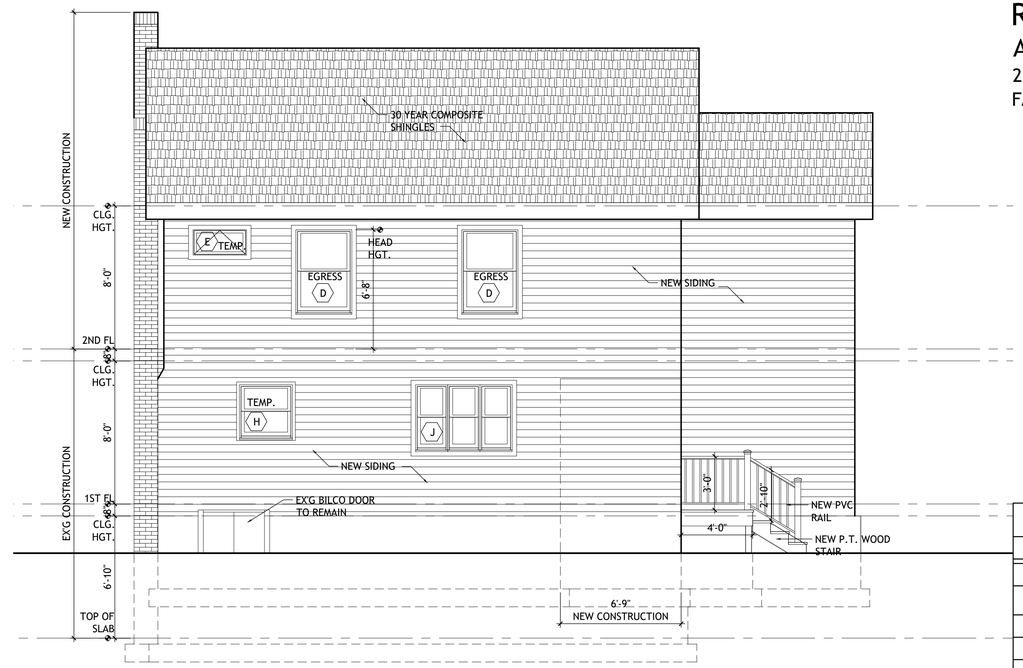
ALLEN RESIDENCE

ADDITION/RENOV.

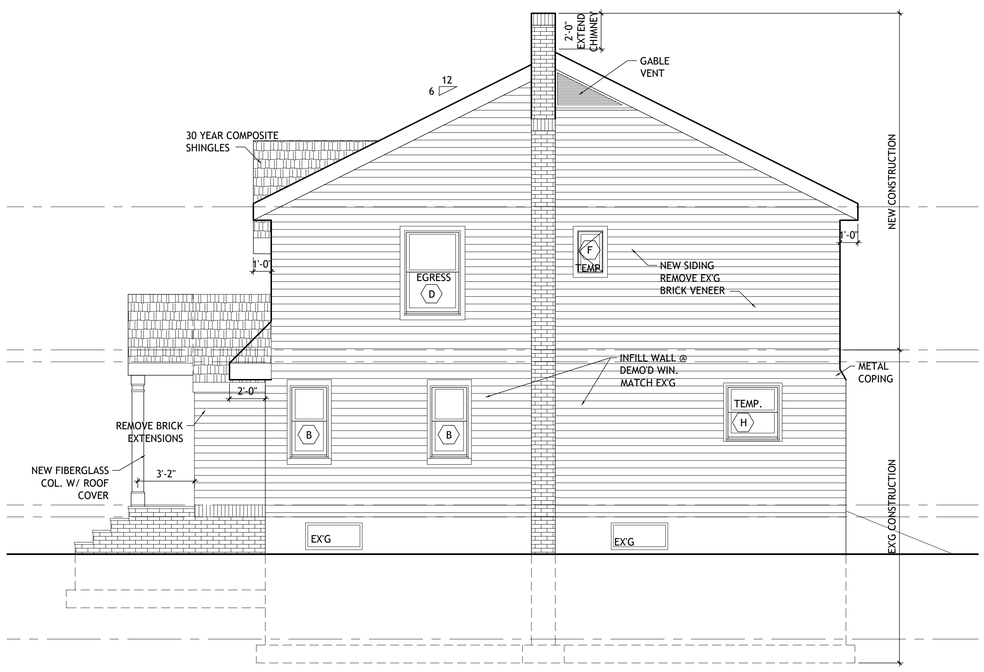
21 MARGARET CT.
FAIR LAWN, NJ 07410



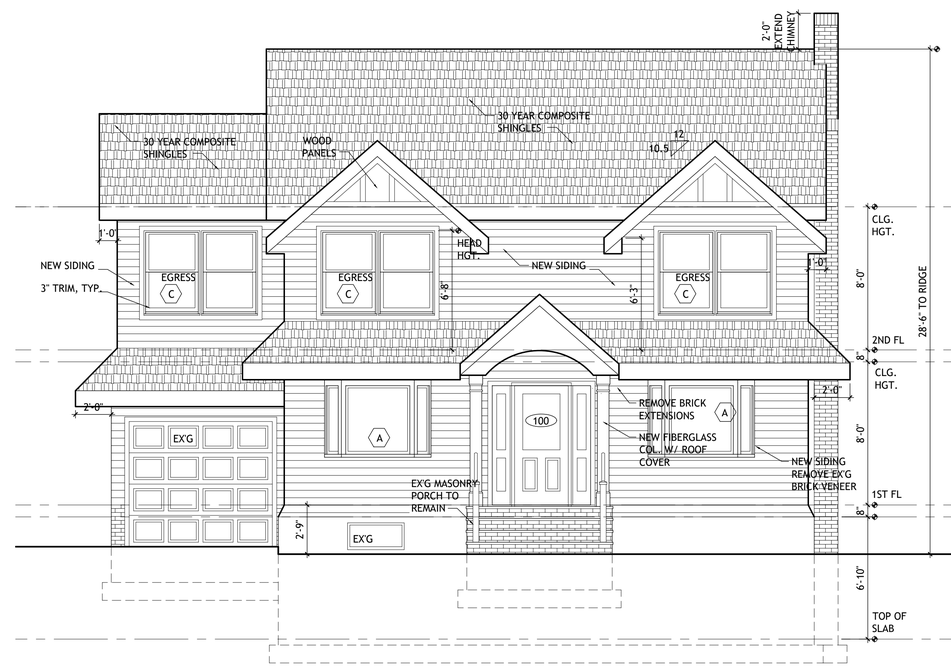
4 GARAGE ELEVATION
SCALE = ¼"=1'-0"



3 REAR ELEVATION
SCALE = ¼"=1'-0"



2 SIDE ELEVATION
SCALE = ¼"=1'-0"



1 FRONT ELEVATION
SCALE = ¼"=1'-0"

REVISIONS	
DATE	REASON
11-4-22	ZONING REVIEW

DATE	REASON
ISSUED SETS	

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21 MARGARET CT.
FAIR LAWN, NJ 07410

DRAWING TITLE:
ELEVATIONS

DATE:	11-4-22
PROJECT #:	2204
DRAWN BY:	LMC
DRAWING #:	A-2

SITE WORK:

1.EXCAVATE TO LINES AND GRADES AS SHOWN ON DRAWINGS AND STOCK PILE EXCAVATED MATERIAL AND STRIPPED TOP SOIL FOR LATER DISTRIBUTION.
2. PLACE ALL BACKFILL IN LIFTS NOT TO EXCEED 8" COMPACT EACH LIFT TO 95% DENSITY TO PREVENT SETTLEMENT AS PER ASTM D1557, METHOD "C". BACKFILL SHALL CONTAIN NO BOULDERS, ORGANIC MATERIAL, FROZEN EARTH OR DEBRIS. DO NOT BACKFILL WHEN PRECEEDING LIFT OR SUBGRADE IS FROZEN.
3. STORM WATER SHALL NOT BE ALLOWED TO DRAIN TO BUILDING OR SPILL ONTO ADJACENT PROPERTIES. SURFACE WATER SHALL BE DIVERTED TO STORM DRAINGS OR STREET BY PROPERLY GRADING SITE.
4. REMOVE ANY EXCESS MATERIAL FROM SITE AT COMPLETION OF ALL ROUGH GRADING.
5. ROCK EXCAVATION, SPRINGS AND RUNNING WATER ARE NOT INCLUDED IN THIS CONTRACT.
6. ALL LIGHTING FOR SITE SHALL BE DESIGNED TO KEEP SPILL LIGHT TO A MINIMUM, SHALL NOT FACE ANY ROADWAY OR CAUSE TRAFFIC DISTRACTIONS. ALL LIGHTING IS SUBJECT TO BOROUGH APPROVAL.

METALS:

1.INSTALL ALUMINUM GUTTERS ALONG ALL CORNICES.
2. INSTALL ALUMINUM LEADERS AS SHOWN ON DRAWINGS AND PIPE AWAY FROM BUILDING AS DIRECTED.
3. ALUMINUM FLASHING OF .019" IS TO BE USED AT ALL:
   BASE COURSES, WALL OPENINGS HEAD AND SILL, THROUGH WALL, CAP AND BASE FLASHING, JUNCTION OF VERTICAL AND HORIZONTAL SURFACES, ROOF EDGES, RIDGES AND HIPS, CRICKETS, VALLEYS AND GUTTERS, CHIPNEY PAN, LEDGE FLASHING.
4. USE .040" ALUMINUM FOR ALL ROOF PENETRATIONS.
5. FASTENERS, INCLUDING NUTS AND WASHERS, FOR PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED, ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.

CONCRETE & MASONRY NOTES:

1.CONCRETE FOR ALL WALLS, PEDESTALS AND FOOTINGS SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000PSI IN 28 DAYS.
2. CONCRETE SLABS SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000PSI.
3. ALL FOOTINGS TO BEAR ON FIRM DRY UNDISTURBED VIRGIN SOIL CAPABLE OF SUPPORTING 2 TONS PSF MINIMUM TO BE VERIFIED BY THE OWNER THROUGH SOIL ENGINEERS. FOOTINGS SHALL BE REDESIGNED IF SITE CONDITIONS DO NOT MEET THESE REQUIREMENTS.
4. NO FOOTING SHALL BEAR ON FILL, ORGANIC MATERIAL OR OTHER UNSTABLE MATERIAL.
5. FOOTINGS SHALL BE CENTERED ON WALLS AND COLUMNS UNLESS OTHERWISE NOTED. THEY SHALL BE STEPPED AT A RATE NOT TO EXCEED 1 VERTICAL TO 2 HORIZONTAL.
6. FOUNDATIONS SHALL BE LIGHTWEIGHT MASONRY BLOCK CONFORMING TO ASTM SPECIFICATIONS SIZE AS SHOWN ON DRAWINGS. WALLS SHALL BE LAID UP PLUMB AND LEVEL WITH 1:3 CEMENT MORTAR. INSTALL TRUSS MESH BLOCK REINFORCING @ 16"OC VERTICAL STARTING WITH 1ST COURSE.
7. ALL CEMENT MORTAR SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI.
8. TYPE M MORTAR SHALL BE USED FOR ABOVE GRADE WORK.
9. TYPE N MORTAR SHALL BE USED FOR BELOW GRADE WORK.
10. PROVIDE SOLID MASONRY PIERS, CONCRETE FILLED BLOCK OR SOLID BRICK WHEN STEEL BEARS ON MASONRY WALLS. PIERS SHALL EXTEND FROM FOOTING UP TO BEARING PLATE.
11. ALL LINTELS AND STEEL BEAMS AND GIRDERS FRAMING INTO MASONRY WALLS SHALL HAVE A MINIMUM BEARING OF 8".
12. AT COMPLETION OF WORK ALL EXPOSED MASONRY SURFACES SHALL BE SCRAPED CLEAN OF MORTAR DRIPPINGS AND WASHED WITH APPROPRIATE SOLUTIONS.
13. DAMPPROOFING FOR WALLS SHALL EXTEND FROM THE TOP OF THE FOOTING TO ABOVE GROUND LEVEL.
DAMPPROOFING SHALL CONSIST OF BITUMINOUS MATERIAL, 3 POUNDS PER SQUARE YARD OF ACRYLIC MODIFIED CEMENT, $\frac{1}{8}$" COAT OF SURFACE-BONDING MORTAR COMPLYING WITH ASTM C887, OR ANY OF THE MATERIALS LISTED BELOW FOR WATERPROOFING.
14. IF WATERPROOFING IS REQUIRED IT SHALL CONSIST OF TWO-PLY HOT MOPPED FELTS, NOT LESS THAN 6MIL POLYVINYL CHLORIDE, 40-MIL POLYMER-MODIFIED ASPHALT, 6-MIL POLYETHYLENE OR OTHER APPROVED METHODS OR MATERIALS CAPABLE OF BRIDGING NONSTRUCTURAL CRACKS.
15. CONCRETE FLOORS SHALL BE 4" THICK ON 6 MIL VAPOR BARRIER (U.N.O.) WITH SEAMS OVERLAPPED AND TAPED ON 4" CRUSHED STONE BASE.
16. GARAGE FLOORS SHALL STEP DOWN FROM BASEMENT OR 1ST FLOORS A MINIMUM OF 4", PITCH DOWN TO OVERHEAD DOORS AND REINFORCE WITH 6"X6"-10/10 WELDED WIRE MESH.

FINISH CARPENTRY:

1. OUTSIDE TRIM TO BE CLEAR WHITE PINE OR AS NOTED ON DRAWINGS.
2. INTERIOR TRIM SHALL BE CLEAR PONDEROSA PINE OR AS NOTED ON DRAWINGS.
CAULK AROUND ALL EXTERIOR OPENINGS WITH SILICONE CONSTRUCTION SEALANT, COLOR TO MATCH ADJACENT MATERIAL COLOR.
3. FINISHED WOOD FLOORS SHALL BE 1"X2 $\frac{1}{4}$" SELECT RED OAK NAILED OVER RED FLOOR FELT, LAID WITH JOINTS TIGHTLY DRIVEN UP AND BLIND NAILED WITH STEEL CUT NAILS. SCRAPE, SAND AND FINISH WITH A SEAL COAT AND A FINISH COAT OF POLYURETHANE. STEEL WOOL SURFACES BEFORE EACH APPLICATION.
4. FLOORS TO BE CARPETED SHALL RECEIVE AN UNDERLAYMENT OF CARPET BOARD.
5. FASTENERS, INCLUDING NUTS AND WASHERS, FOR PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED, ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.

ROOFING:

1. PITCHED ROOF AREAS (4:12 MIN. SLOPE) SHALL BE COVERED WITH 50 YEAR COMPOSITE SHINGLES LAID OVER 30# BUILDING FELT ALL NAILED DOWN WITH GALVANIZED NAILS PER MANUFACTURER'S SPECIFICATIONS. SHINGLES SHALL BE SELF-SEALING. COLOR AND STYLE TO BE SELECTED BY OWNER.
2. LOW PITCHED ROOF AREAS (3:12 OR LESS) SHALL BE COVERED WITH A MINERAL SURVACED ROLLED ROOFING SYSTEM COLOR AS SELECTED.
3. THE FIRST 3'-0" (FROM EAVE UP) OF ALL ROOF DECK AREAS TO BE PROTECTED WITH ICE AND SNOW SHIELD, 40 MIL. ALSO INSTALL AT ALL HIPS, VALLEYS, RIDGES, RAKES, INTERSECTING WALLS, AROUND ALL DORMERS AND SKYLIGHTS, AND AS OTHERWISE NOTED ON DRAWINGS.

HVAC NOTES:

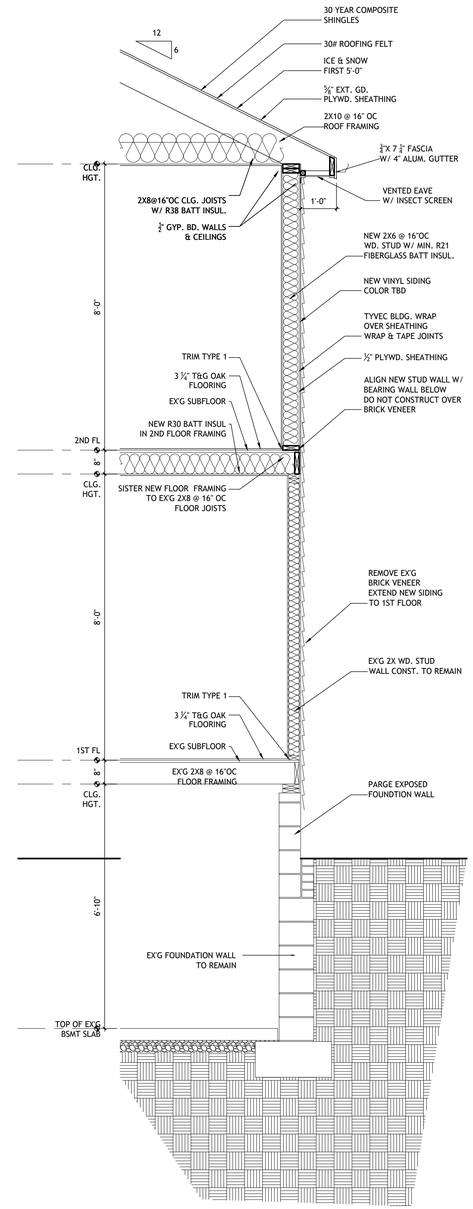
ARCHITECT NOT RESPONSIBLE FOR DESIGN OR LAYOUT OF THE HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS. THE FOLLOWING NOTES ARE GUIDELINES FOR BID PURPOSES ONLY:

HEATING:
1. THE FINISHED AREA SHALL BE HEATED WITH A GAS FIRED ONE PIPE HOT WATER BASEBOARD SYSTEM, ZONED ACCORDINGLY.
2. RADIATORS SHALL BE COPPER FIN TUBE BASEBOARD TYPE WITH NECESSARY COMPRESSION AIR VALVES AND FITTINGS WITH METAL COVERS.
3. BOILERS SHALL BE SELECTED BY OWNER AND BE EQUIPPED WITH FLUE, RELIEF VALVES, BRUSH & HANDLE, PRESSURE TANK, BOOSTER PUMPS, FLO-CONTROL VALVES, HEATING CONTROLS AND ZONED.
4. PROVIDE VARIABLE TIME CONTROLLED THERMOSTATS.
5. PIPING SHALL BE BEST QUALITY TUBING WITH SWEATED FITTINGS. SYSTEM SHALL HAVE DRAIN OUT VALVES INSTALLED AT LOW POINTS TO FACILITATE CLEARING SYSTEM.
6. HEATING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO THE SYSTEM ONCE OPERATIONAL.
7. THE HEATING CONTRACTOR SHALL SURVEY ALL EXISTING SYSTEMS TO DETERMINE SERVICEABILITY OF EXISTING SYSTEM AND CONVERSION OPTIONS.
8. FACTORY BUILT CHIMNEYS AND GAS VENTS ARE ACCEPTABLE ONLY WHEN TESTED AND LABELED BY AN APPROVED TESTING AGENCY AND INSTALLED PER MANUFACTURER SPECIFICATIONS. ALL SUCH EQUIPMENT MUST BE LABELED SHOWING APPROVALS AND CODE COMPLIANCES.
9. FURNACE/AIR HANDLERS SHALL HAVE A MANUFACTURER'S DESIGNATION FOR AN AIR LEAKAGE OF NO MORE THAN 2% OF THE DESIGN AIR FLOW RATE WHEN TESTED IN ACCORDANCE WITH ASHRAE193.

AIR CONDITIONING:
1. INSTALL SLEEVES FOR THRU-WALL AIR CONDITIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE OWNER. SIZE UNITS FOR 40 BTU FOR EVERY SQUARE FOOT OF AREA OR 12,000 BTU FOR EVERY 300 SF.

WHOLE HOUSE VENTILATION AIR FLOW RATES MUST MEET THE REQUIREMENTS SET FORTH IN 2015 IRC TABLE M1507.3.3(1).

A BLOWER DOOR TEST MUST BE PERFORMED PRIOR TO COMPLETION OF PROJECT.



1 WALL SECTION
SCALE = 1/2"=1'-0"

ALLEN RESIDENCE
ADDITION/RENOV.
21 MARGARET CT.
FAIR LAWN, NJ 07410

REVISIONS	
DATE	REASON
11-4-22	ZONING REVIEW

DATE	REASON
ISSUED SETS	

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21 MARGARET CT.
FAIR LAWN, NJ 07410

DRAWING TITLE:
SECTION & NOTES

DATE: 11-4-22
PROJECT #: 2204
DRAWN BY: LMC
DRAWING #: A-3

FINISH NOTES

GYPSUM BOARD ASSEMBLIES

1. ALL INTERIOR WALLS AND CEILINGS TO BE COVERED WITH ½" THICK GYPSUM BOARD. VERTICAL EDGES TAPED. STAGGER JOINTS ON OPPOSITE SIDES OF PARTITIONS. CUT OPENINGS FOR ELECTRICAL OUTLETS, PIPING, ETC., NEATLY AND CLOSE TO TOLERANCES. USE METAL CORNER REINFORCING, TAPE, FLOAT AND SAND.

2. WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE INSTALLED AT ALL WET ROOM LOCATIONS.

3. ALL LOCATIONS TO RECEIVE CERAMIC TILE INSTALLATION SHALL BE SHEATHED WITH CEMENT BOARD TILE SUBSTRATE OF AN AGGREGATE PORTLAND CEMENT MIXTURE REINFORCED WITH A POLYMER-COATED GLASS FIBER MESH EMBEDDED IN BOTH SIDES, IE DUROCK OR WONDERBOARD.

3. STUDS TO BE SPACED NO MORE THAN 16" O.C. AND SHALL EXTEND TO CEILING OR SLAB ABOVE AS SHOWN IN DRAWING.

4. GYPSUM BOARD JOINT TREATMENT MATERIALS SHALL COMPLY WITH ASTM C 475.

5. PATCH WITH DURABLE SEAMS THAT ARE AS INVISIBLE AS POSSIBLE.

6. WHERE THE REMOVAL OF ITEMS EXTENDS ONE FINISHED AREA INTO ANOTHER, PATCH AND REPAIR SURFACES IN THE NEW SPACE TO PROVIDE AN EVEN SURFACE OF UNIFORM COLOR AND APPEARANCE. REMOVE EXISTING COVERINGS AND REPLACE WITH NEW MATERIALS, IF NECESSARY, TO ACHIEVE UNIFORM COLOR AND APPEARANCE, AFTER REVIEW AND APPROVAL.

7. WHERE PATCHING OCCURS IN A SMOOTH PAINTED SURFACE, EXTEND FINAL PAINT COAT OVER ENTIRE UNBROKEN AREA CONTAINING THE PATCH, AFTER THE PATCHED AREA HAS RECEIVED PRIMER AND SECOND COAT.

8. PATCH, REPAIR OR RESAND EXISTING CEILINGS AND WALLS AS NECESSARY TO PROVIDE AN EVEN PLANE SURFACE OF UNIFORM APPEARANCE.

9. INTERIOR TRIM AND FINISHES TO MATCH EXISTING UNLESS OTHERWISE SPECIFIED IN DRAWINGS.

CARPENTRY

1. INSTALL ROUGH CARPENTRY TO FIT ROUGH CARPENTRY TO OTHER CONSTRUCTION: SCRIBE AND COPE FOR ACCURATE FIT. CORRELATE LOCATION OF FURRING, BLOCKING, AND SIMILAR SUPPORTS TO ALLOW ATTACHMENT OF OTHER CONSTRUCTION.

2. SECURELY ATTACH ROUGH CARPENTRY TO SUBSTRATE BY ANCHORING AND FASTENING PER MANUFACTURER'S REQUIREMENTS.

3. INSTALL INTERIOR TRIM TO FIT TRIM TO OTHER CONSTRUCTION; SCRIBE AND COPE FOR ACCURATE FIT. CORRELATE LOCATION OF FURRING, BLOCKING, AND SIMILAR SUPPORTS TO ALLOW ATTACHMENT OF OTHER CONSTRUCTION.

4. SECURELY ATTACH CARPENTRY WORK AS INDICATED AND ACCORDING TO RECOGNIZED STANDARDS.

5. COUNTERSINK NAIL HEADS ON EXPOSED CARPENTRY WORK AND FILL HOLES WITH WOOD FILLER.

6. INSTALL WOOD TRIM WITH MINIMUM NUMBER OF JOINTS PRACTICAL, USING FULL-LENGTH PIECES FROM MAXIMUM LENGTHS OF LUMBER AVAILABLE. COPE AT RETURNS AND MITER AT CORNERS TO PRODUCE TIGHT-FITTING JOINTS WITH FULL-SUFACE CONTACT THROUGHOUT LENGTH OF JOINT. USE SCARF JOINTS FOR END TO END JOINTS.

7. MATCH COLOR AND GRAIN PATTERN ACROSS JOINTS.

8. INSTALL TRIM AFTER GYPSUM BOARD JOINT FINISHING OPERATIONS ARE COMPLETED.

9. INSTALL TO TOLERANCE OF $\frac{1}{8}$" IN 96 INCHES FOR LEVEL AND PLUMB. INSTALL ADJOINING TRIM WITH $\frac{1}{32}$ INCH MAXIMUM OFFSET FOR FLUSH INSTALLATION.

10. INSTALL SIDING LEVEL, PLUMB, TRUE AND ALIGNED WITH ADJACENT MATERIALS. SCRIBE AND CUT TO FIT ADJOINING WORK. REFINISH AND SEAL CUTS. FOLLOW MANUFACTURER'S RECOMMENDATIONS.

PAINTING

1. ALL NEW GYPSUM WALL AND CEILING BOARD SURFACES SHALL BE PAINTED AS REQUIRED AND RECEIVE A PRIMER PLUS TWO COATS OF PAINT, COLOR TO MATCH EXISTING.

2. ALL SURFACES SHALL BE PROPERLY PREPARED TO RECEIVE PAINT IN ACCORDANCE WITH THE PRINTED PAINT INSTRUCTIONS OF THE APPROVED PAINT MANUFACTURER. WALLBOARD SHALL BE THOROUGHLY PATCHED, SANDED AND POLISHED BEFORE FINISH PAINTING, USING FINELY GROUND, NON-SHRINKING AND SMOOTH, HARD-DRYING SPACKLING COMPOUND. ALL EXISTING PAINT SURFACES SHALL BE CLEANED AND SANDPAPERED AS APPROPRIATE TO RECEIVE FINISH COATS.

3. ALL INTERIOR DOORS AND TRIM TO BE PAINTED SHALL RECEIVE ONE COAT OF AN ALKYD ENAMEL UMDERCOATER AND TWO COATS OF A LATEX SEMI-GLASS PAINT.

4. VARINISHED/STAINED SURFACES ARE TO RECEIVE THREE COATS OF A CLEAR POLYURETHANE FINISH FOR A NATURAL LOOK OR A FIRST COAT OF AN OIL STAIN.

TILE

EXECUTION: PREPARE WALLS AS NECESSARY TO ACCEPT NEW TILE; PREPARE WALLS WITH PLASTER, CEMENT OR WONDERBOARD AS NECESSARY. IF REQUIRED, AT BASE AND TOILET WALLS INSTALL CEMENTITIOUS BACKER UNITS BEHIND BASE AND TREAT JOINTS AS REQUIRED.

INSTALLATION: COMPLY WITH ANSI A108.1 AND 108.4 THROUGH 108.10 AND AS APPLICABLE COMPLY WITH MANUFACTURERE'S INSTRUCITONS FOR APPLICATION OF PROPRIETARY MATERIALS.

JOINTS TO BE 1/16 INCH WIDE UNLESS OTHERWISE INDICATED.

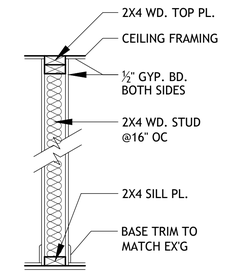
CLEANING: UPON COMPLETION OF PLACEMENT AND GROUTING, CLEAN ALL CERAMIC TILE SURFACES SO THEY ARE FREE OF FOREIGN MATTER. REMOVE LATEX-PORTLAND CEMENT GROUT FROM TILE AS SOON AS POSSIBLE. REMOVE TEMPORARY PROTECTIVE COATING BY METHOD RECOMMENDED BY COATING MANUFACTURERE THAT IS ACCEPTABLE TO TILE AND GROUT MANUFACTURER. TRAP AND REMOVE COATING TO PREVENT IT FROM CLOGGING DRAINS.

FINISH SCHEDULE

ROOM #	ROOM NAME	WALL		FLOOR	CEILING		TRIM		CEILING HGT.	NOTES
		MAT.	FINISH	MATERIAL	MAT.	FINISH	BASE	CASING		
100	GREAT ROOM	GYP. BD.	PAINT	T&G HARDWOOD	GYP. BD.	PAINT	1	2	8'-0"	
101	POWDER ROOM	GYP. BD.	PAINT	TILE	GYP. BD.	PAINT	1	2	8'-0"	
102	KITCHEN	GYP. BD.	PAINT	T&G HARDWOOD	GYP. BD.	PAINT	1	2	8'-0"	
103	DINING AREA	GYP. BD.	PAINT	T&G HARDWOOD	GYP. BD.	PAINT	1	2	8'-0"	
104	MUDROOM	GYP. BD.	PAINT	TILE	GYP. BD.	PAINT	1	2	8'-0"	
105	STAIR	GYP. BD.	PAINT	OAK TREADS	GYP. BD.	PAINT	1	2	VARIES	
200	HALL	GYP. BD.	PAINT	T&G HARDWOOD	GYP. BD.	PAINT	1	2	8'-0"	
201	PRIMARY BEDROOM	GYP. BD.	PAINT	T&G HARDWOOD	GYP. BD.	PAINT	1	2	8'-0"	
202	PRIMARY CLOSET	GYP. BD.	PAINT	T&G HARDWOOD	GYP. BD.	PAINT	1	2	8'-0"	
203	NOT USED	-	-	-	-	-	-	-	-	
204	PRIMARY BATH	GYP. BD.	PAINT	TILE	GYP. BD.	PAINT	1	2	8'-0"	
205	BEDROOM #1	GYP. BD.	PAINT	T&G HARDWOOD	GYP. BD.	PAINT	1	2	8'-0"	
206	BEDROOM #2	GYP. BD.	PAINT	T&G HARDWOOD	GYP. BD.	PAINT	1	2	8'-0"	
207	BEDROOM #3	GYP. BD.	PAINT	T&G HARDWOOD	GYP. BD.	PAINT	1	2	8'-0"	
208	BATH	GYP. BD.	PAINT	TILE	GYP. BD.	PAINT	1	2	8'-0"	

DOOR SCHEDULE

DOOR #	ROOM NAME	WIDTH	HEIGHT	THICK	TYPE	DOOR		FRAME		NOTES
						MATERIAL	FINISH	MAT.	FINISH	
100	GREAT ROOM	3'-0"	6'-8"	1 ½"	1	WOOD/GLASS	STAIN	WOOD	PAINT	
101	POWDER ROOM	2'-4"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	POCKET DOOR HARDWARE
102	MUDROOM	2'-6"	6'-8"	-	-	-	-	WOOD	PAINT	EX'G FRAMED OPENING ONLY
103	MUDROOM	2-2'-0"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
104	MUDROOM	2'-6"	6'-8"	1 ½"	1	WOOD/GLASS	STAIN	WOOD	PAINT	
200	BEDROOM #3	2'-6"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
201	BEDROOM #3	2-2'-0"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
202	BATH	2'-6"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
203	PRIMARY BEDROOM	2'-6"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
204	PRIMARY CL #1	2'-6"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
205	NOT USED	-	-	-	-	-	-	-	-	
206	PRIMARY BATH	2'-6"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
207	BEDROOM #1	2'-6"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
208	BEDROOM #1	2-2'-0"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
209	BEDROOM #1	2-2'-0"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
210	BEDROOM #2	2'-6"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
211	BEDROOM #2	2-2'-0"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	
212	BATH	1'-0"	6'-8"	1 ⅜"	2	WOOD	PAINT	WOOD	PAINT	



1 TYP. INTERIOR WALL DETAIL
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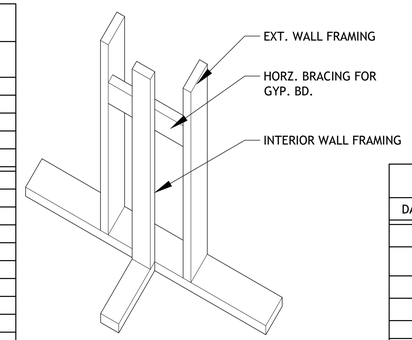


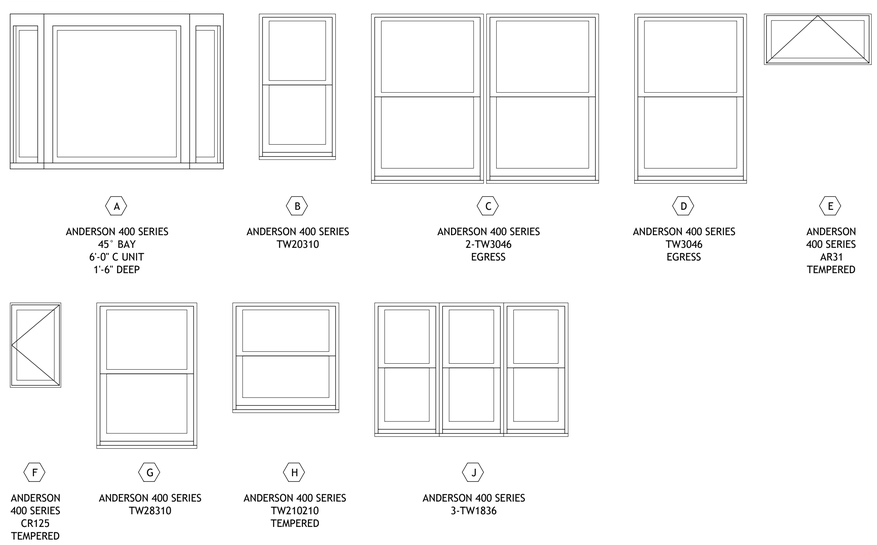
2 INT/EXT WALL CONNECTION DET.
NOT TO SCALE

ALLEN RESIDENCE

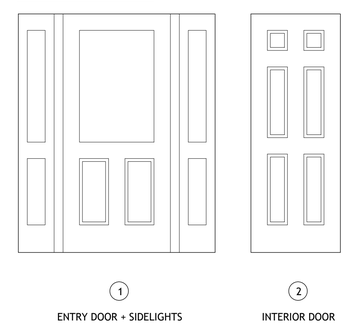
ADDITION/RENOV.

21 MARGARET CT.
FAIR LAWN, NJ 07410

WINDOW TYPES



DOOR TYPES



REVISIONS	
DATE	REASON
11-4-22	ZONING REVIEW

DATE	REASON
ISSUED SETS	

L·M·C ARCHITECTURE
21-03 RADBURN ROAD · FAIR LAWN, NJ · 07410
LISA@LMCARCHITECTURE.COM · (201) 492-3767

21 MARGARET CT.
FAIR LAWN, NJ 07410

DRAWING TITLE: FINISH NOTES, SCHEDULES, DOOR & WINDOW TYPES

DATE: 11-4-22
PROJECT #: 2204
DRAWN BY: LMC
DRAWING #: A-4